

# AGENDA



ARCHITECTURAL REVIEW BOARD MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
APRIL 28, 2026 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) OPEN FORUM

*This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(III) ACTION AGENDA

(1) **SP2026-012 (BETHANY ROSS)**

Discuss and consider a request by Paul Cragun of Cumulus Design on behalf of Sam Mota of MGD 276 Business Park, LLC for the approval of a Site Plan for Commercial/Office Building on a 3.8-acre tract of land identified as Tract 2-5 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for General Retail (GR) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Old SH-276 and T. L. Townsend Drive, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on April 22, 2026 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/23/2026

PROJECT NUMBER: SP2026-012  
PROJECT NAME: Site Plan for 276 Business Park  
SITE ADDRESS/LOCATIONS: 1375 STATE HIGHWAY 276, ROCKWALL, TX 75032

CASE CAPTION: Discuss and consider a request by Paul Cragun of Cumulus Design on behalf of Sam Mota of MGD 276 Business Park, LLC for the approval of a Site Plan for Commercial/Office Building on a 3.8-acre tract of land identified as Tract 2-5 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for General Retail (GR) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Old SH-276 and T. L. Townsend Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/23/2026	Approved w/ Comments

04/23/2026: SP2026-012; Site Plan for 276 Business Park

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Paul Cragun of Cumulus Design on behalf of Sam Mota of MGD 276 Business Park, LLC for the approval of a Site Plan for Commercial/Office Building on a 3.8-acre tract of land identified as Tract 2-5 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for General Retail (GR) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, and located at the northwest corner of the intersection of Old SH-276 and T. L. Townsend Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email [bross@rockwall.com](mailto:bross@rockwall.com).

M.3 For reference, include the case number (SP2026-012) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.5 Provide the following signature block on each page of all plans. (Subsection 03.04.A, of Article 11, UDC)

#### APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

#### M.6 Site Plan

- 1) Indicate all perimeter dimensions of the site. (Subsection 03.04.B, of Article 11, UDC)
- 2) Indicate perimeter dimensions of the building (Subsection 03.04.B, of Article 11, UDC)

- 3) Indicate distances between the building and property lines. (Subsection 0.04.B, Article 11, UDC)
- 4) All overhead utilities shall be placed underground. (Subsection 06.02.H, Article 05, UDC)
- 5) A five (5)-foot sidewalk will be required along T.L. Townsend Drive and an eight (8) foot trail is required along SH-276. (Subsection 03.04.B, of Article 11, UDC)
- 6) Indicate the street centerline and any median breaks for both T.L. Townsend Drive and SH-276. (Subsection 03.04(B), Article 11, UDC)
- 7) Parallel Parking. Each parking space shall not be less than nine (9) feet in width and 22-feet in length. Maneuvering space will not be less than 24-feet. (Section 2.20(C)4, City of Rockwall Engineering Standards of Design and Construction)
- 8) General Retail uses require 1 parking space per 250 SF of building area. Please revise parking table.  $12,000/250 = 48$  parking spaces. (Subsection 0.01, Article 6, UDC)
- 9) Two (2) Handicap spaces are required for a total of 26-50 parking spaces. (Subsection 05.04(A), Article 06, UDC)
- 10) The parking on the west side of the building cannot extend past the front façade of the building. (Subsection 06.02(D), Article 05, UDC)

#### M.7 Landscape Plan

- 1) The Landscape buffer required along SH-276 and T.L. Townsend is 15-feet. Parking is not permitted in the Landscape Buffer and the landscape buffer must be outside the utility easements required along 276 and TL townsend. (Subsection 06.02.E, Article 05, UDC)
- 2) All landscape buffers shall incorporate ground cover, a built-up berm and shrubbery or a combination thereof along the entire length of the frontage. Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48- inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage.
- 3) Abutting Residential. A minimum of a 20-foot wide landscape buffer shall be required along the entire length of any nonresidential lot that abuts a residentially zoned or used property. (Subsection 05.01 (B)2, Article 08, UDC)
- 4) Any non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers. Any non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers. As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees) along the entire length of the adjacency. The canopy trees shall be placed on 20-foot centers. (Subsection 05.02(B), Article 08, UDC)
- 5) All shrubs shall be a minimum of five (5) gallon in size. (Subsection 06.02(E)2, Article 05, UDC) Revise landscape table.
- 6) All parking spaces shall be within 80 feet of a canopy tree (Subsection 05.03(E), Article 08, UDC)
- 7) Identify visibility triangles for all driveway intersections and public streets. (Subsection 01.08, Article 05, UDC)
- 8) Provide a note indicating that irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08, UDC)
- 9) Dumpster enclosures require to be screened by 5-gallon evergreen shrubs. (Subsection 01.05(B), Article 05, UDC)
- 10) If there is any pad-mounted utility equipment, it will need to be screened by 5-gallon evergreen shrubs. (Subsection 01.05(C), of Article 05, UDC)
- 11) Detention basins shall be landscaped in a natural manner using ground cover, grasses, shrubs, berms, and accent and canopy trees. There shall be a minimum of one (1) Canopy Tree per 750 SF and one (1) Accent Tree per 1,500 SF of detention area. (Subsection 05.03(D), Article 08, UDC)

#### M.8 Building Elevations

- 1) Indicate the elevations that are adjacent to T.L. Townsend and SH-276.
- 2) Building does not meet four (4)-sided architecture requirements. Specifically, the following articulation is required for all four sides of the building:
  1. Wall Length cannot exceed 72 feet
  2. Minimum Secondary Entryway/Architectural Element Length is 18 feet
  3. The Minimum Wall Projection is 6.5 feet
  4. The Minimum Primary Entryway/Architectural Element is 36 feet
  5. The Minimum Projection height is 6.5 feet
  6. The Minimum Primary Entryway/Architectural length is 13.5 feet

This will require a variance from the Planning and Zoning Commission. (Subsection 06.02.C.5, of Article 05, UDC)

- 3) Parapets shall be extended back and finished on the backside, same as front. (Subsection 05.01.A.2, Article 05, UDC)
- 4) Indicate the parapet height. Parapets are required on all four sides of the building and will need to be shown that they will screen any RTUs on the building. (Subsection 01.05 (C), Article 05, UDC)
- 5) Provide a note indicating a self-latching gate on the dumpster. (Subsection 01.05.B, of Article 05, UDC)
- 6) The use of manufactured stone is a variance to the overlay district standards. (Subsection 06.02.C.a.1, of Article 05, UDC)

M.9 Photometric Plan

- 1) The allowable maximum light intensity measured at the property line of a non-residential property is 0.2 FC of one footcandle. (Subsection 03.03.C, of Article 07, UDC) Provide the FC readings at the northern property line.
- 2) Under canopy lighting shall not exceed 35 FC. (Subsection 03.03.E.1, of Article 07, UDC)
- 3) The maximum outdoor maintained computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site with the exception of the under-canopy lighting as mentioned earlier. (Subsection 03.03.G, Article 07, UDC)
- 4) The maximum mounting height for lighting shall be 20 feet in the SH-276 Overlay District (Subsection 06.02.G, Article 05, UDC) Please indicate mounting height for all lighting.
- 5) Any unshielded light sources shall have a maximum wattage of 15 W. (Subsection 03.03.A, of Article 07, UDC)
- 6) Provide lighting cutsheets for all proposed light fixtures. (Subsection 03.03, Article 07, UDC)

M.10 Staff has identified the following variance(s) associated with the proposed request: [1] Four (4)-sided Architecture, [2] Primary Articulation, [3] natural stone, [4] landscape buffer along T.L. Townsend, [5] landscape buffer along SH-276, [6] trees/plantings/berm within the landscape buffers, [7] residential adjacency standards, and [8] more than one row of parking between the primary building façade and the right-of-way. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

M.11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on May 5, 2026 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on April 28, 2026.
- (2) Planning & Zoning meeting/public hearing meeting will be held on May 12, 2026.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	04/23/2026	Approved w/ Comments

- 04/23/2026:
1. Site plan is required to show ex. and proposed water, sanitary sewer, and approximate location of detention
  2. If the dumpster enclosure along a retaining wall, retaining wall will have to be designed for the force of a fully loaded trash truck and the force exerted when forcefully placing dumpster down.
  3. No building, filling, or excavation in a flood plain unless a flood study have been approved by the City and a LOMR submitted and approved by FEMA
  4. Parallel parking is 9'x22'
  5. No landscape plantings or landscape berms will be allowed within these easements, you may need more room here to meet your landscape requirements.
  6. 425' spacing per TXDOT or TXDOT variance required
  7. No trees allowed within 10' of any public utility 10" in size or greater. No trees allowed here

General Items:

General Items:

- Must meet City 2023 Standards of Design and Construction.

- Minimum easement width is 20' for new easements.
- No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- All utilities must be underground. All overhead power lines will need to be buried.
- The property must be platted.
- No structures or fences within easements or ROW.
- No signage is allowed within easements or ROW.
- All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
- A TXDOT Permit will be required for all utility, drainage, and pavement improvements within TXDOT ROW.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering.
- Dumpsters should be orientated so that a trash truck can maneuver the property with the least amount of circling required. May not directly face a roadway.

#### Drainage Items:

- Existing flow patterns must be maintained. Drainage may not be increased towards any direction.
- Detention must be provided for the entire site.
- Per the City's Engineering Standards of Design and Construction, Section 3.04.02 (c), detention is required and a flood study performed from this site to Horizon Road. There may not be any adverse impacts upstream or down stream, with 0.00' rise on any other properties.
- Detention is not allowed within the floodplain at all.
- - Per the City's Engineering Standards of Design and Construction, see section 3.02, Detention calculations are based on zoning, not land use area. Only area of site that may use undeveloped values in post construction calculations is the floodplain area. All land out of the floodplain must be calculated at the zoning value.
- Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
- Detention easement required at the free-board elevation.
- Detention ponds must provide an emergency spillway.
- Detention ponds must be in a drainage easement located at the freeboard elevation.
- Detention ponds must be irrigated.
- Must match the existing flow conditions for the detention outfall or an off-site easement is required.
- No vertical walls are allowed in detention easement.
- No public water or sanitary sewer are allowed in detention easement.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area or floodplain area. Minimum 2' above 100-year WSEL.
- 100-year WSEL must be called out for detention ponds and floodplain areas.
- Flood Study is required to define all fully developed 100-yr floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
- Any fill within FEMA floodplain must require a LOMR.
- Floodplain and erosion hazard setback must be within a drainage easement.
- Finished floor elevation must be a minimum of 2' above the floodplain.
- Must get a Wetlands/WOTUS study for all ponds and wetland areas.
- All Dumpster areas shall drain to an oil/water separator and then into the storm system.
- Driveway culverts must be engineer designed.

#### Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- There is an existing 12" water main stub located on the southwest side and southeast of the property available for use.
- Developer will need to install a 12" water main between the 2 existing water main stubs along SH 276 per the City's Master Water Plan per the City's Engineering Standards of

Design and Construction, Section 5.01.. A minimum 20' easement will need to be dedicated.

- There is an existing 15" sewer main located along SH 276 and TL Townsend available for use.
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- Any utility connection made underneath of an existing City roadway must be completed by dry bore. Opening cutting will not be allowed.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. No structures or berms allowed in easements.
- All public utilities must be centered in easement.
- Water to be 10' separated from storm and sewer lines.
- All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
- Pro-ratas may apply. \$1,924.04/ac sewer pro-rata at minimum
- Infrastructure study maybe required depending on use. Review fees apply.

#### Paving Items:

- A TXDOT Permit will be required for all utility, drainage, and pavement improvements within TXDOT ROW.
- All driveways must meet City and TXDOT spacing requirements. Per TxDOT driveway requirements, driveways are a minimum 425' from one another or roadway intersections.
- All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed with without a City approved turnaround area, 15'x64' striped and signed no parking area.
- All drive isles to be a minimum of 24' wide.
- All streets and parking to be minimum 1-ft above the 100 YR floodplain WSEL.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.
- Culverts (if needed) for driveways will need to be engineered.
- Must meet driveway width maximum and minimum.
- All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.

#### Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that the utility line is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that the utility line is less than 10".
- No landscape berms shall be located on top of City utilities or within easements.

#### Operation & Maintenance Plan for Structural Control Measures:

The owner or operator of any new development or redeveloped site must develop and implement an Operation and Maintenance Plan (O&M Plan) addressing the maintenance requirements for all structural stormwater control measures installed on site, including but not limited to detention ponds and retention ponds.

The O&M Plan must be submitted to the City for recordkeeping purposes at the time of Engineering. To ensure long-term maintenance regardless of ownership changes, the owner or operator must provide proof that the O&M Plan has been incorporated into the property deed restrictions or Homeowners Association (HOA) covenants, as applicable.

The site owner or operator must maintain the O&M Plan on-site along with documentation of all maintenance activities performed. These records must be made available for review by the City of Rockwall or TCEQ within 24 hours of request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	04/23/2026	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/22/2026	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/20/2026	Approved w/ Comments

04/20/2026: Assigned address is 1375 STATE HIGHWAY 276, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/20/2026	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/20/2026	Approved w/ Comments

04/20/2026: Tree mitigation required  
 Landscape buffer cannot be in utility easement  
 All parking spaces must be within 80' of a tree canopy  
 Identify detention pond landscaping and trees

- General Items:**
- Must meet City 2023 Standards of Design and Construction.
  - Minimum easement width is 20' for new easements.
  - No structures including walls allowed in easements.
  - Retaining walls 3' and over must be engineered.
  - All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
  - All utilities must be underground. All overhead power lines will need to be buried.
  - The property must be platted.
  - No structures or fences within easements or ROW.
  - No signage is allowed within easements or ROW.
  - All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
  - A TXDOT Permit will be required for all utility, drainage, and pavement improvements within TXDOT ROW.
  - Need to show existing and proposed utilities on the Site Plan.
  - Additional comments may be provided at time of Site Plan and Engineering.
  - Dumpsters should be orientated so that a trash truck can maneuver the property with the least amount of circling required. May not directly face a roadway.

- Drainage Items:**
- Existing flow patterns must be maintained. Drainage may not be increased towards any direction.
  - Detention must be provided for the entire site.
  - Per the City's Engineering Standards of Design and Construction, Section 3.04.02 (c), detention is required and a flood study performed from this site to Horizon Road. There may not be any adverse impacts upstream or down stream, with 0.00' rise on any other properties.
  - Detention is not allowed within the floodplain at all.
  - Per the City's Engineering Standards of Design and Construction, see section 3.02. Detention calculations are based on zoning, not land use area. Only area of site that may use undeveloped values in post construction calculations is the floodplain area. All land out of the floodplain must be calculated at the zoning value.
  - Detention pond max side slope of 4:1 with a minimum bottom slope of 1%.
  - Detention easement required at the free-board elevation.
  - Detention ponds must provide an emergency spillway.
  - Detention ponds must be in a drainage easement located at the freeboard elevation.
  - Detention ponds must be irrigated.
  - Must match the existing flow conditions for the detention outfall or an off-site easement is required.
  - No vertical walls are allowed in detention easement.
  - No public water or sanitary sewer are allowed in detention easement.
  - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
  - No grate inlets allowed.
  - FFE for all buildings must be called out when adjacent to a detention area or floodplain area. Minimum 2' above 100-year WSEL.
  - 100-year WSEL must be called out for detention ponds and floodplain areas.
  - Flood Study is required to define all fully developed 100-yr floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
  - Any fill within FEMA floodplain must require a LOMR.
  - Floodplain and erosion hazard setback must be within a drainage easement.
  - Finished floor elevation must be a minimum of 2' above the floodplain.
  - Must get a Wetlands/WOTUS study for all ponds and wetland areas.
  - All Dumpster areas shall drain to an oil/water separator and then into the storm system.
  - Driveway culverts must be engineer designed.

- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
  - Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
  - There is an existing 12" water main stub located on the southwest side and southeast of the property available for use.
  - Developer will need to install a 12" water main between the 2 existing water main stubs along SH 276 per the City's Master Water Plan per the City's Engineering Standards of Design and Construction, Section 5.01.. A minimum 20' easement will need to be dedicated.
  - There is an existing 15" sewer main located along SH 276 and TL Townsend available for use.
  - Public sewer to be 8" minimum.
  - Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
  - Any utility connection made underneath of an existing City roadway must be completed by dry bore. Opening cutting will not be allowed.
  - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
  - Min 20' utility easements. No structures or berms allowed in easements.
  - All public utilities must be centered in easement.
  - Water to be 10' separated from storm and sewer lines.
  - All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
  - Pro-ratas may apply. \$1,924.04/ac sewer pro-rata at minimum
  - Infrastructure study maybe required depending on use. Review fees apply.

- Paving Items:**
- A TXDOT Permit will be required for all utility, drainage, and pavement improvements within TXDOT ROW.
  - All driveways must meet City and TXDOT spacing requirements. Per TXDOT driveway requirements, driveways are a minimum 425' from one another or roadway intersections.
  - All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed in any area.
  - All Parking to be 20'x9' minimum.
  - No dead-end parking allowed without a City approved turnaround area, 15'x64' striped and signed no parking area.
  - All drive aisles to be a minimum of 24' wide.
  - All streets and parking to be minimum 1-ft above the 100 YR floodplain WSEL.
  - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
  - Fire lane to be in a platted easement.
  - Culverts (if needed) for driveways will need to be engineered.
  - Must meet driveway width maximum and minimum.
  - All non-TXDOT roadways shall have a minimum 10' utility easement along the ROW. All State (TXDOT) roadways shall have a minimum of 10' water & sanitary sewer easement along ROW. Required landscaping and buffer may not be within these easements.
  - A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.

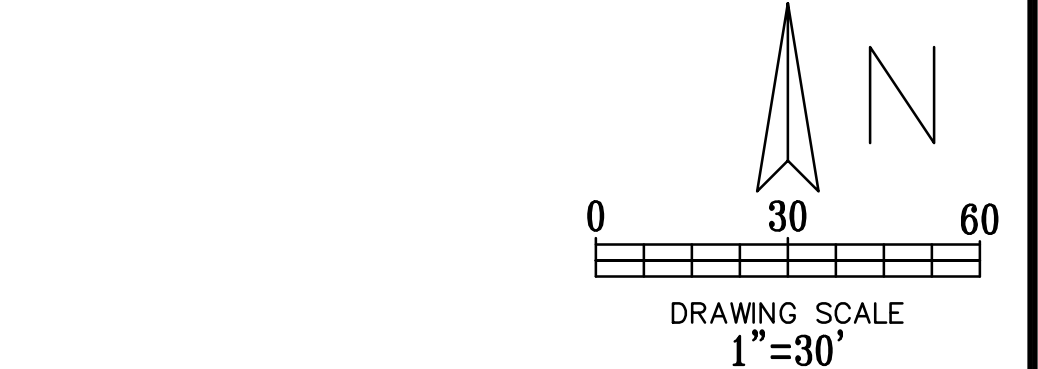
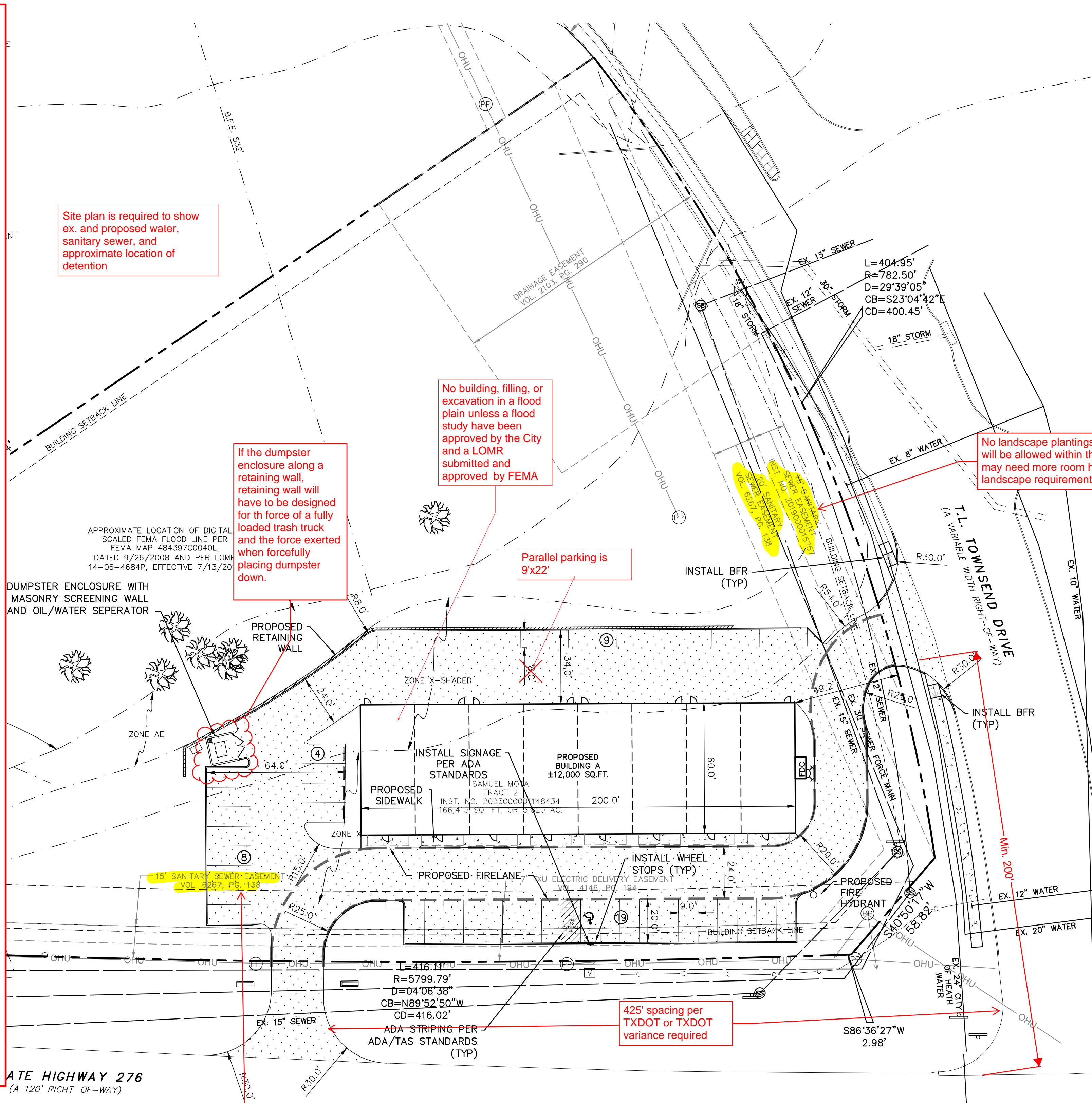
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that the utility line is 10" in diameter or larger.
  - No trees to be with 5' of any public water, sewer, or storm line that the utility line is less than 10".
  - No landscape berms shall be located on top of City utilities or within easements.

- Operation & Maintenance Plan for Structural Control Measures:**
- The owner or operator of any new development or redeveloped site must develop and implement an Operation and Maintenance Plan (O&M Plan) addressing the maintenance requirements for all structural stormwater control measures installed on site, including but not limited to detention ponds and retention ponds.
- The O&M Plan must be submitted to the City for recordkeeping purposes at the time of Engineering. To ensure long-term maintenance regardless of ownership changes, the owner or operator must provide proof that the O&M Plan has been incorporated into the property deed restrictions or Homeowners Association (HOA) covenants, as applicable.
- The site owner or operator must maintain the O&M Plan on-site along with documentation of all maintenance activities performed. These records must be made available for review by the City of Rockwall or TCEQ within 24 hours of request.

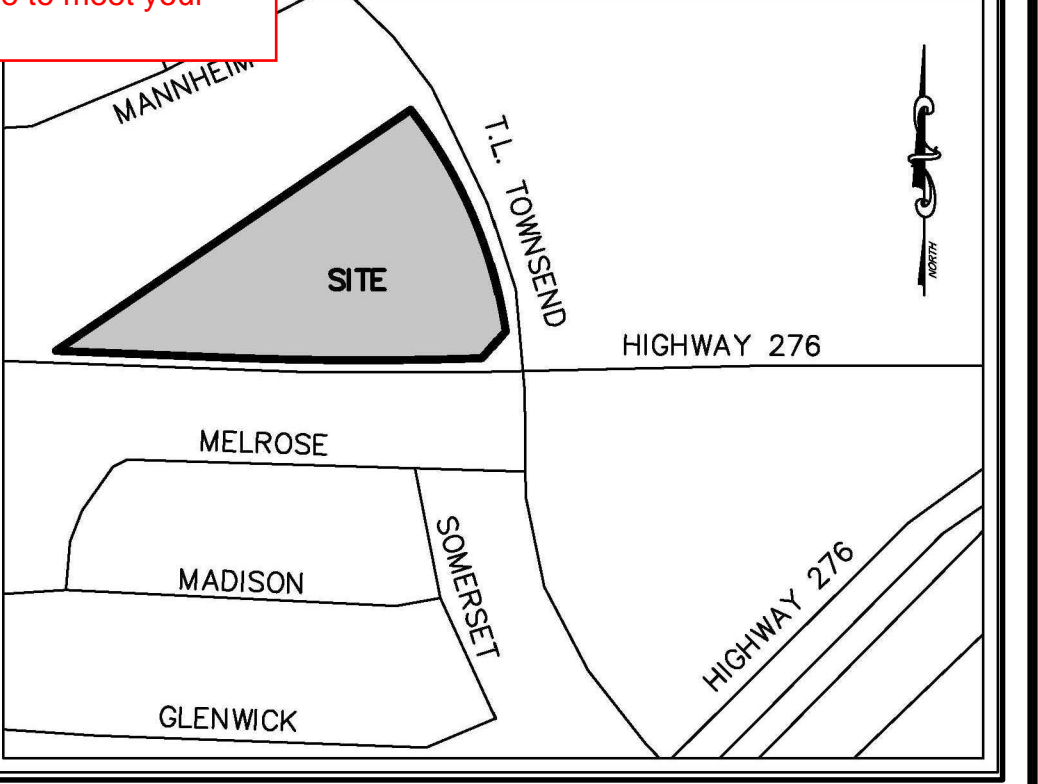
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CALL: TEXAS ONE CALL 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.



- LEGEND**
- EXISTING CURB
  - PROPOSED CURB
  - PROPERTY LINE
  - 4" PROPOSED SIDEWALK 3,000 PSI REINFORCED CONCRETE WITH #3 BARS AT 24" CENTERS WITH COMPACTED SUBGRADE. (MINIMUM 5.5 SACK MIX)
  - 6" PROPOSED PAVEMENT 3,600 PSI REINFORCED CONCRETE PAVEMENT WITH #4 BARS AT 24" CENTERS ON 6" FLEX BASE ON 6" COMPACTED SUBGRADE SOILS. FIRELANES SHALL BE PER CITY STANDARDS (MINIMUM 6.5 SACK MIX)
  - PROPOSED ADA SPACE PER CURRENT ADA/TAS STANDARDS WITH WHEELSTOP AND ADA SIGNAGE



**SITE DATA TABLE**

CURRENT ZONING:	PD-10 (SH276 OVERLAY)
LAND USE:	OFFICE/RETAIL BUILDINGS
SITE ACREAGE:	3.82 ACRES (166,415 SQ FT)
TOTAL BUILDING AREA:	12,000 SQUARE FEET
OPEN SPACE:	127,528/166,415 : 76.6%
PAVED SURFACE AREA:	38,887/166,415 : 23.4%
BUILDING HEIGHT:	1 STORY
PARKING REQUIRED:	40 PARKING SPACES
PD-10 OFFICE TOTAL (1 SPACE/300 S.F.):	40 PARKING SPACES
PARKING PROVIDED:	40 PARKING SPACES
ACCESSIBLE PARKING PROVIDED:	1 PARKING SPACES

**REVISIONS**

REV. NO.	DATE	DESCRIPTION

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

WITNESS OUR HANDS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING AND ZONING \_\_\_\_\_

OWNER/DEVELOPER:  
MGD 276 BUSINESS PARK, LLC  
1557 TROWBRIDGE CIR.  
ROCKWALL, TEXAS 75032  
CONTACT: SAMUEL MOTA  
PH: (972) 771-1607

CASE: SP  
**Cumulus Design Firm #14810**  
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050  
Tel. 214.235.0367

**SITE PLAN**

276 BUSINESS PARK  
CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
J CADLE SURVEY, ABS 0065, TRACT 2-5

DATE	PROJECT NO	DRAWING SCALE	SHEET
4/16/26	CD25020	1" = 30'	SP

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 04/16/26.

FOR REVIEW ONLY. NOT FOR CONSTRUCTION

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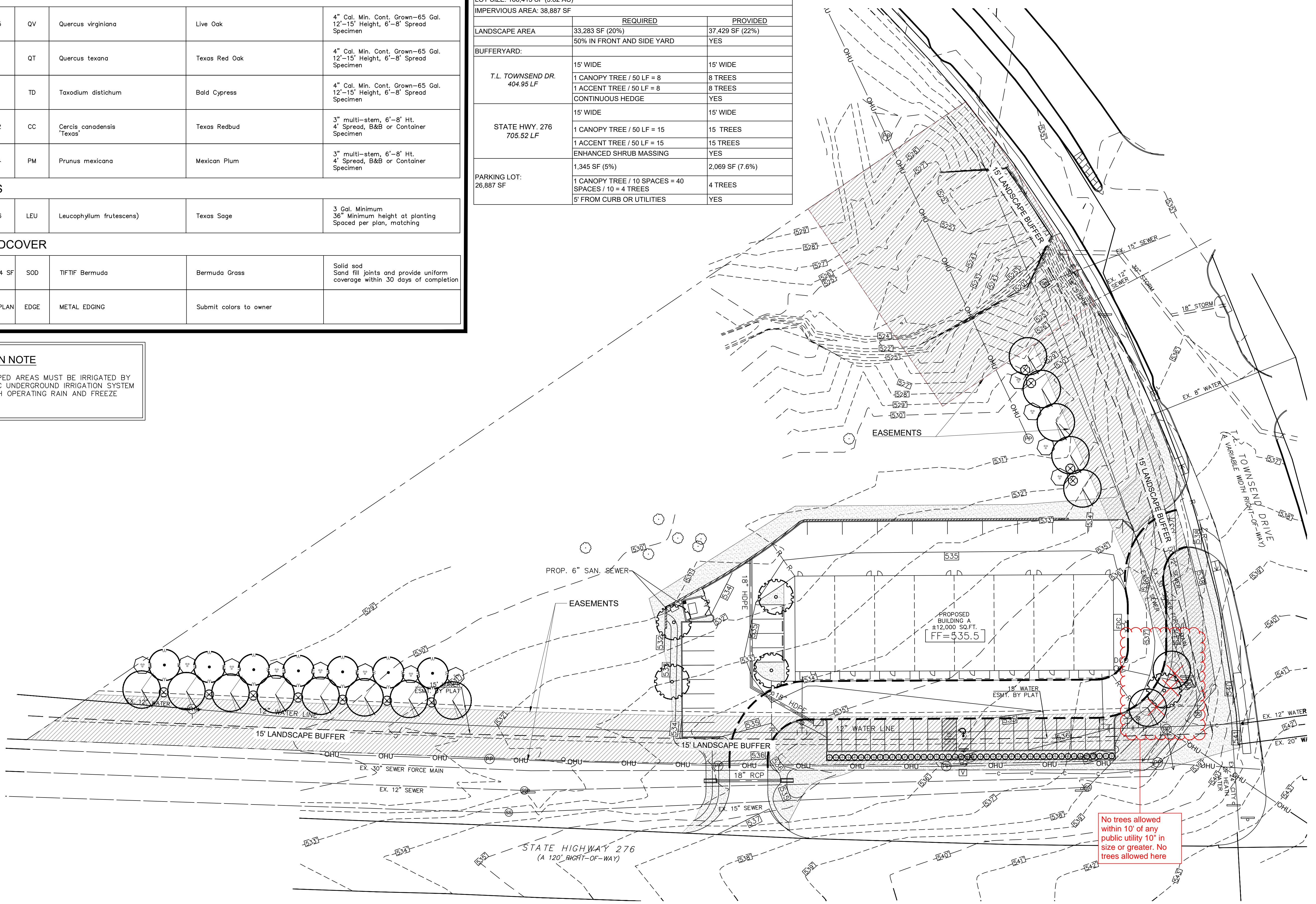


KEY

TREES					
	15	QV	Quercus virginiana	Live Oak	4" Cal. Min. Cont. Grown-65 Gal. 12'-15' Height, 6'-8' Spread Specimen
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	46	LEU	Leucophyllum frutescens	Texas Sage	3 Gal. Minimum 36" Minimum height at planting Spaced per plan, matching
GROUNDCOVER					
	16,274 SF	SOD	TIFTIF Bermuda	Bermuda Grass	Solid sod Sand fill joints and provide uniform coverage within 30 days of completion
	PER PLAN	EDGE	METAL EDGING	Submit colors to owner	

LANDSCAPE CALCULATIONS		
LOT SIZE: 166,415 SF (3.82 AC)		
IMPERVIOUS AREA: 38,887 SF		
LANDSCAPE AREA	33,283 SF (20%)	37,429 SF (22%)
60% IN FRONT AND SIDE YARD		
BUFFERYARD:		
T.L. TOWNSEND DR. 404.95 LF	15' WIDE 1 CANOPY TREE / 50 LF = 8 1 ACCENT TREE / 50 LF = 8 CONTINUOUS HEDGE	15' WIDE 8 TREES 8 TREES YES
STATE HWY. 276 705.52 LF	15' WIDE 1 CANOPY TREE / 50 LF = 15 1 ACCENT TREE / 50 LF = 15 ENHANCED SHRUB MASSING	15' WIDE 15 TREES 15 TREES YES
PARKING LOT: 26,887 SF	1,345 SF (5%) 1 CANOPY TREE / 10 SPACES = 40 SPACES / 10 = 4 TREES	2,069 SF (7.6%) 4 TREES
	5' FROM CURB OR UTILITIES	YES

**IRRIGATION NOTE**  
 ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.



OLD SH 276  
 COMMERCIAL OFFICES  
 Rockwall, Texas



PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:  
**LANDSCAPE PLAN**  
 SHEET NO: L1.00  
 COPYRIGHT © LONDON LANDSCAPES, LLC



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Townsend Dr

SUBDIVISION J Cadle Survey, Tract 2, Abs 0065

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION NW corner of TL Townsend and SH 276

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-10

CURRENT USE Vacant

PROPOSED ZONING No change

PROPOSED USE Office/Warehouse

ACREAGE X

LOTS [CURRENT] \_\_\_\_\_

X

LOTS [PROPOSED] \_\_\_\_\_

X

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER MGD 276 Business Park

APPLICANT Cumulus Design

CONTACT PERSON Sam Mota

CONTACT PERSON Paul Cragun

ADDRESS \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

PHONE \_\_\_\_\_

PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

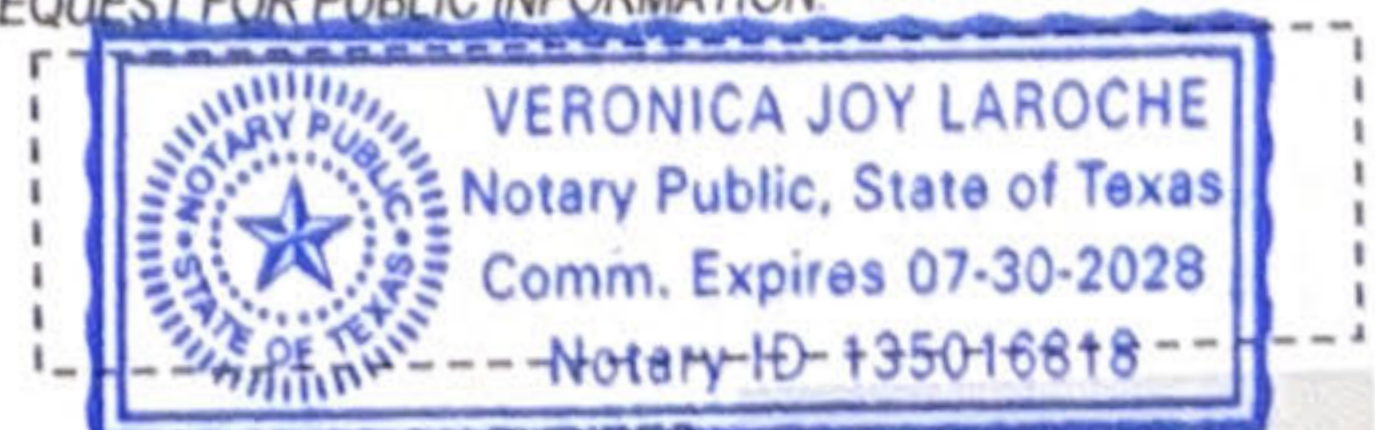
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Samuel A. Mota [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18<sup>th</sup> DAY OF January, 2026

OWNER'S SIGNATURE Samuel A. Mota

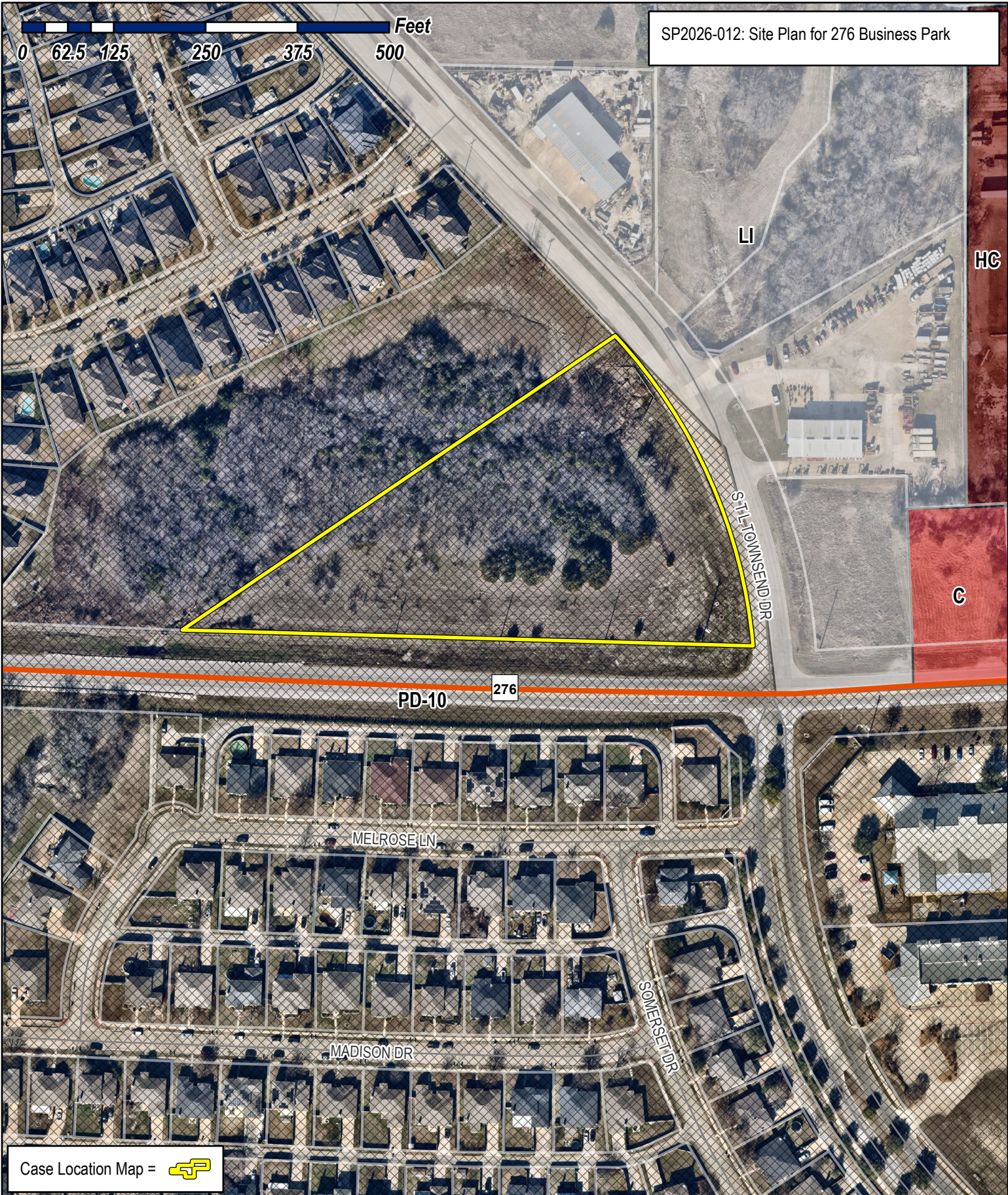
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Veronica J. Laroché




MY COMMISSION EXPIRES \_\_\_\_\_

0 62.5 125 250 375 500 Feet

SP2026-012: Site Plan for 276 Business Park



Case Location Map = 

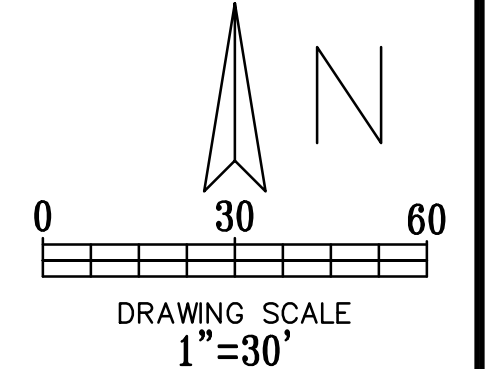


# City of Rockwall

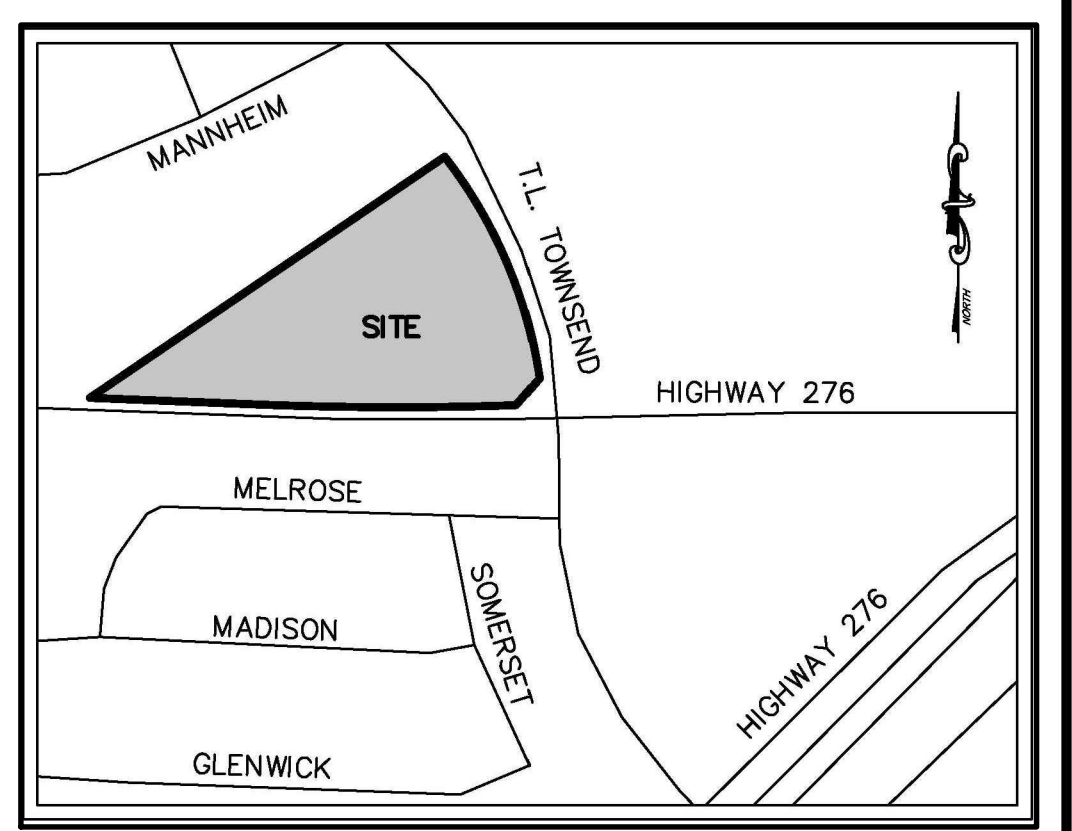
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

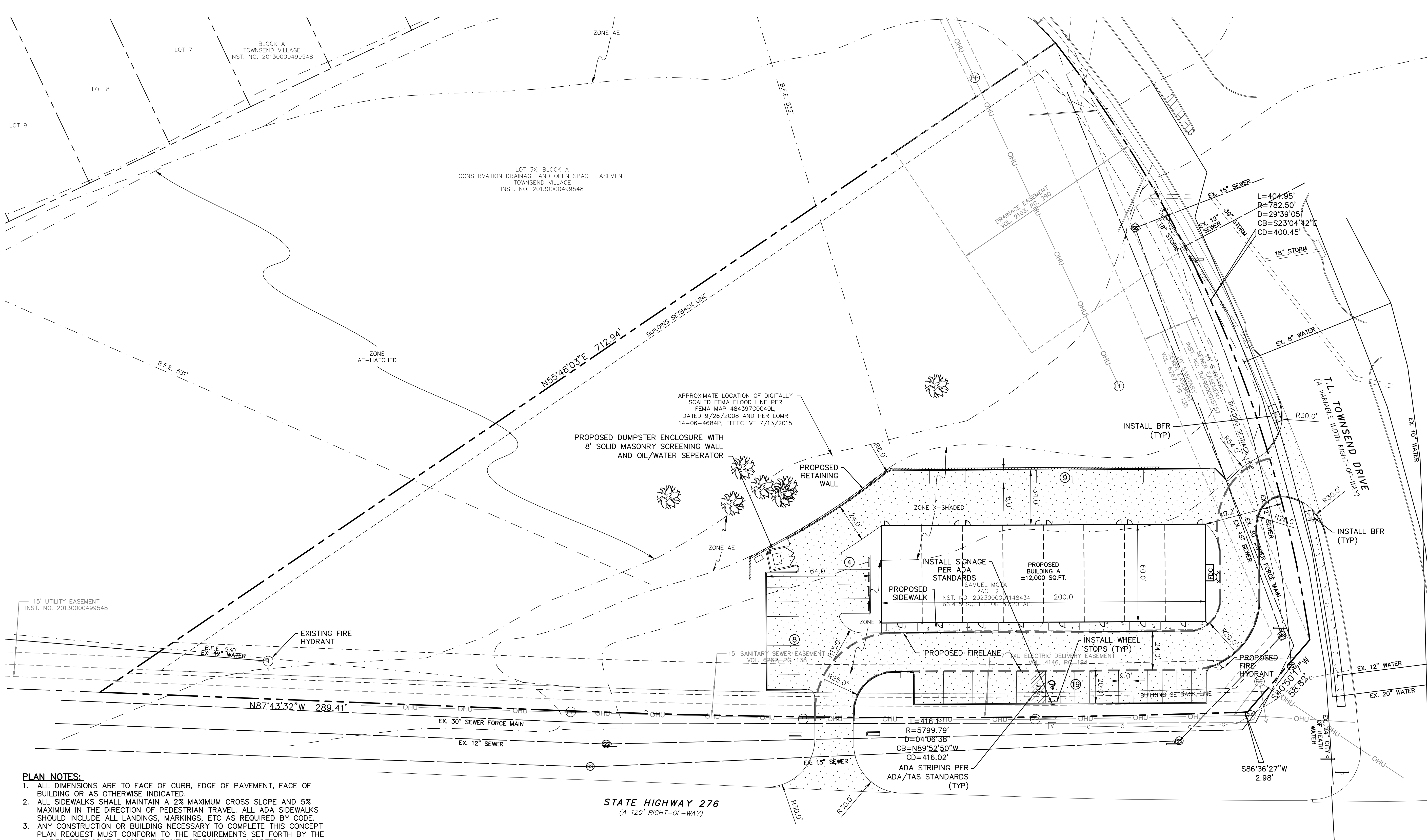




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VICINITY MAP  
N.T.S.



- PLAN NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
  - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
  - ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS CONCEPT PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE CITY OF ROCKWALL ADAPTED INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
  - THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.
  - A TYPICAL PARKING SPACE SHALL BE 9' WIDE AND 20' DEEP.
  - THE PROPERTY IS CURRENTLY UNPLATTED BUT WILL BE PLATTED AS PART OF DEVELOPMENT.
  - DETENTION AREA LOCATIONS HAVE BEEN CALLED OUT ON THIS PLAN. DETENTION OUTFALL MUST BE AT SHEET FLOW CONDITIONS WHEN STORM WATER CROSSES THE PROPERTY LINE. MANNING'S C-VALUE SHALL BE PER ZONING TYPE. DUMPSTER AREAS TO DRAIN TO OIL/WATER SEPARATOR AND THEN TO THE STORM LINES.

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PH: (972) 771-1607

CASE: SP  
Cumulus Design Firm #14810  
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050  
Tel. 214.235.0367

SITE PLAN			
276 BUSINESS PARK			
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ROCKWALL COUNTY, TEXAS			
J CADLE SURVEY, ABS 0065, TRACT 2-5			
DATE	PROJECT NO	DRAWING SCALE	SHEET
4/16/26	CD25020	1" = 30'	SP

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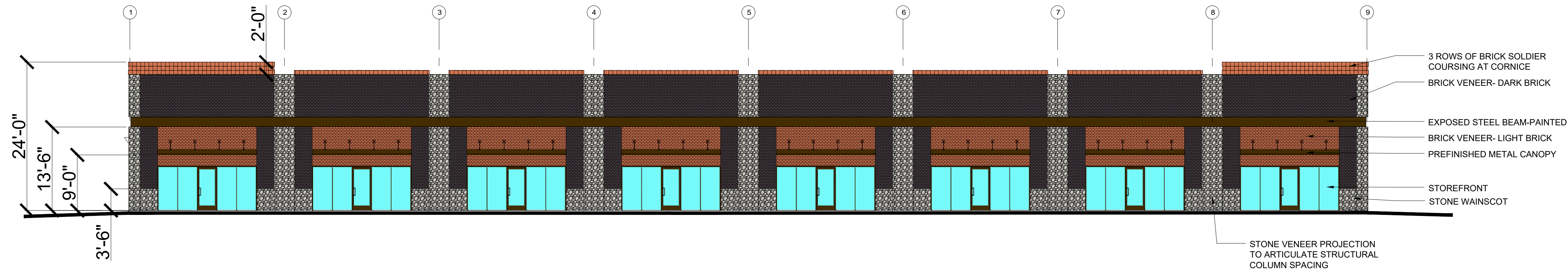
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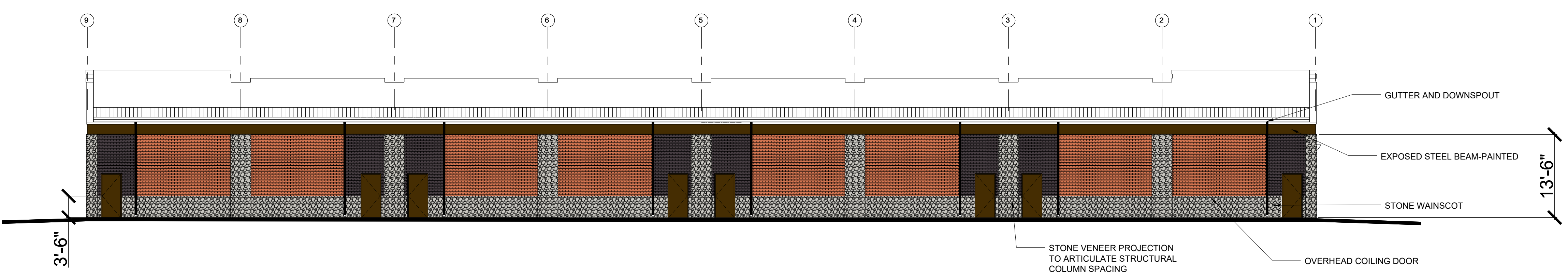
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1 South Elevation - Building 1

SCALE: 3/32" = 1'-0"

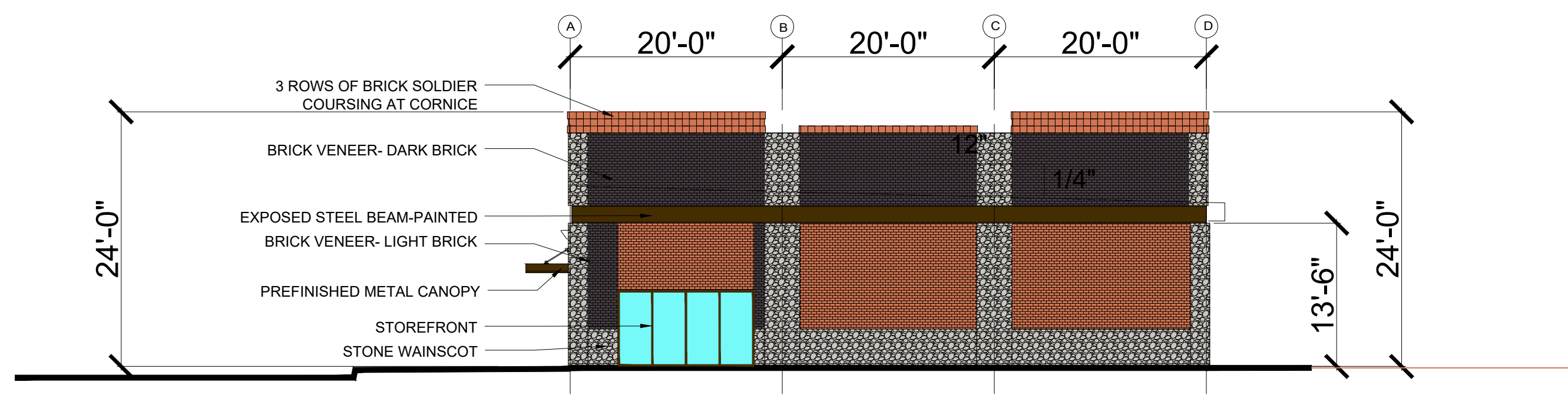
MATERIAL CALCULATIONS:  
 FACADE AREA- 4,588 SF  
 MASONRY AREA- 91%  
 NATURAL STONE AREA- 20%



2 North Elevation - Building 1

SCALE: 3/32" = 1'-0"

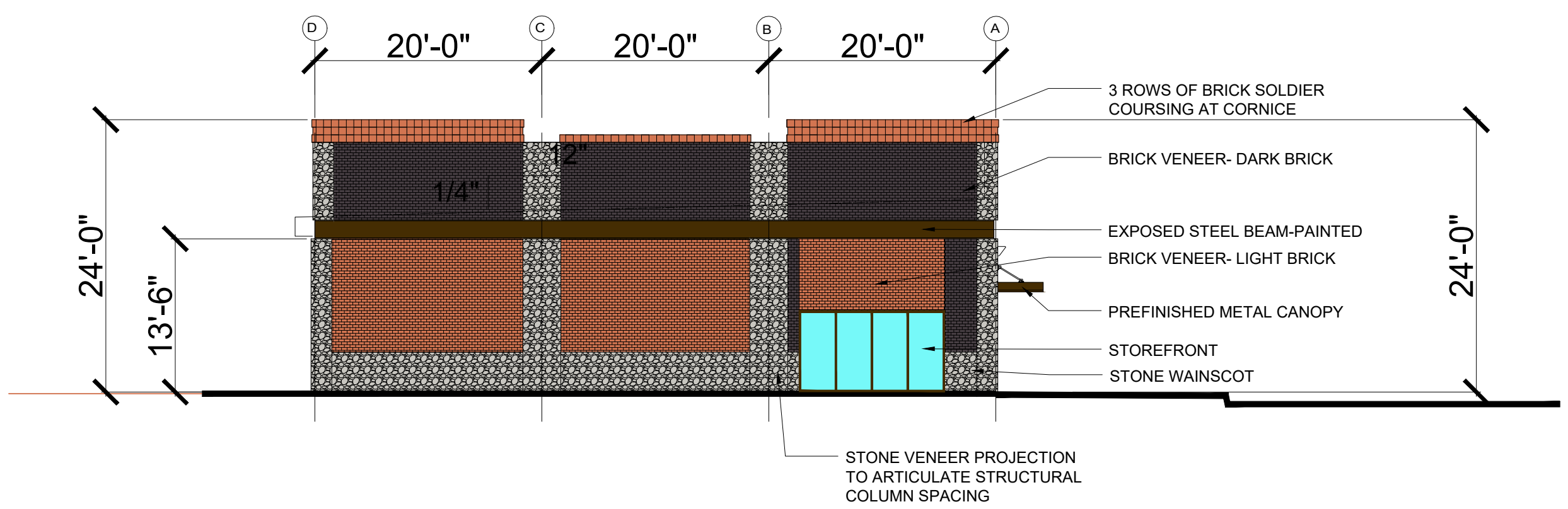
MATERIAL CALCULATIONS:  
 FACADE AREA- 3,290 SF  
 MASONRY AREA- 90%  
 NATURAL STONE AREA- 28%



3 East Elevation - Building 1

SCALE: 3/32" = 1'-0"

MATERIAL CALCULATIONS:  
 FACADE AREA- 1,415 SF  
 MASONRY AREA- 92%  
 NATURAL STONE AREA- 26%



4 West Elevation - Building 1

SCALE: 3/32" = 1'-0"

MATERIAL CALCULATIONS:  
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PLANNING & ZONING COMMISSION, CHAIRMAN \_\_\_\_\_ DIRECTOR OF PLANNING & ZONING \_\_\_\_\_

REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED ISSUED FOR REVIEW
C	04/17/26	REVISED ISSUED FOR REVIEW

**ISSUED FOR REVIEW**  
 NOT FOR CONSTRUCTION  
 04/17/2026

WILLIAM TATLOCK, RA  
 2980 GOLFING GREEN CT.  
 BURLESON, TX 76028

OFFICE BUILDING  
 Highway 276 & Townsend Rockwall, TX

Project	24111
Revision	C
Date	04/17/2026
Scale	
<b>A4.1</b>	
OF SHEETS	

EXTERIOR COLOR PALETTE



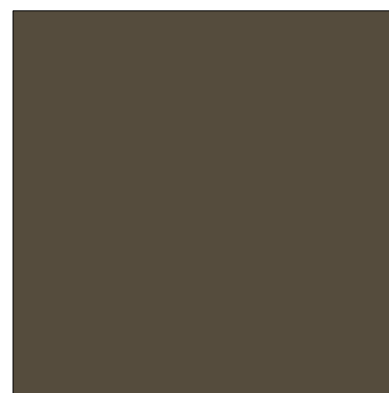
BRICK VENEER-  
"LIGHT" BRICK-  
ACME BRICK  
CLOISTURE MODULAR



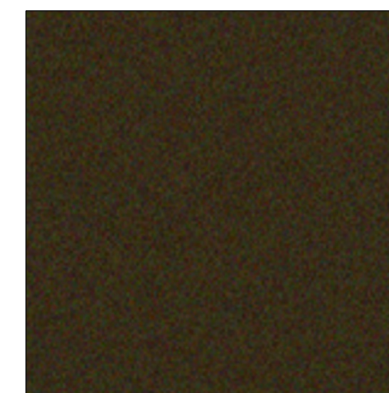
BRICK VENEER-  
"DARK" BRICK-  
ACME BRICK  
DARK INKSPOT MODULAR



STONE VENEER-  
CORONADO STONE-  
FREEDOM BUILDING STONE SERIES  
PATRIOT BLEND



METAL DOORS, CANOPY,  
STEEL BEAMS AND OVERHEAD  
COILING DOORS-  
EXTERIOR PAINT  
SHERWIN WILLIAMS  
SW7055 ENDURING BRONZE



STOREFRONT FRAMING-  
KAWNEER  
MEDIUM BRONZE

OFFICE BUILDING  
HIGHWAY 276 & TOWNSEND RD.  
ROCKWALL, TEXAS  
3/13/2026

REV	DATE	ISSUE
A	03/13/26	ISSUED FOR REVIEW

**ISSUED FOR REVIEW**  
**NOT FOR CONSTRUCTION**  
01/19/2026

WILLIAM TATLOCK, RA  
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Highway 276 & Townsend Rockwall, TX

Project	24111
Revision	A
Date	03/13/2026
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**A4.3**  
OF SHEETS

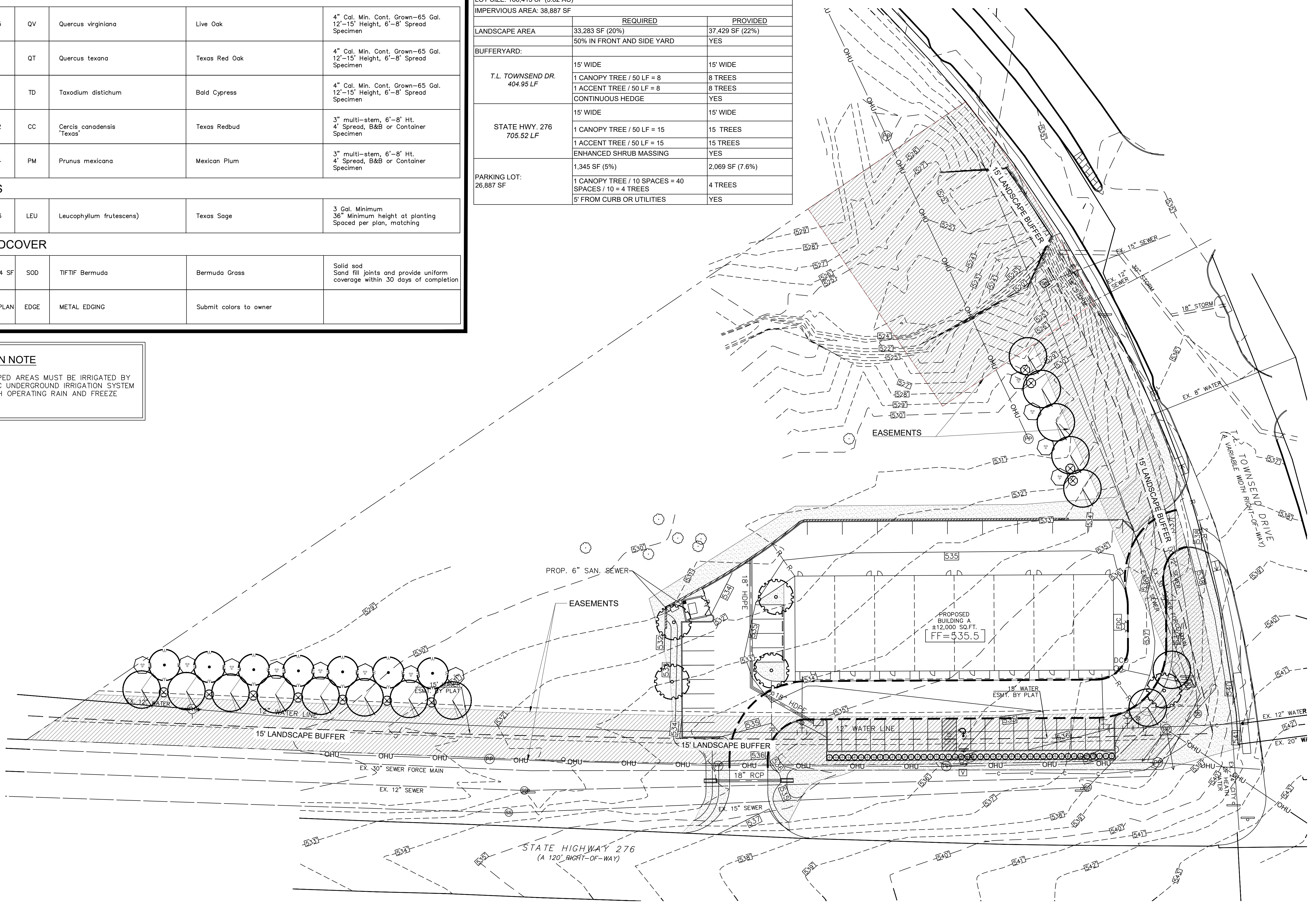
B

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60% IN FRONT AND SIDE YARD		
BUFFERYARD:		
T.L. TOWNSEND DR. 404.95 LF	15' WIDE 1 CANOPY TREE / 50 LF = 8 1 ACCENT TREE / 50 LF = 8 CONTINUOUS HEDGE	15' WIDE 8 TREES 8 TREES YES
STATE HWY. 276 705.52 LF	15' WIDE 1 CANOPY TREE / 50 LF = 15 1 ACCENT TREE / 50 LF = 15 ENHANCED SHRUB MASSING	15' WIDE 15 TREES 15 TREES YES
PARKING LOT: 26,887 SF	1,345 SF (5%) 1 CANOPY TREE / 10 SPACES = 40 SPACES / 10 = 4 TREES 5' FROM CURB OR UTILITIES	2,069 SF (7.6%) 4 TREES YES

**IRRIGATION NOTE**  
 ALL LANDSCAPED AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN AND FREEZE SENSORS.



OLD SH 276  
 COMMERCIAL OFFICES  
 Rockwall, Texas



PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:  
**LANDSCAPE PLAN**

SHEET NO:  
**L1.00**  
 COPYRIGHT © LONDON LANDSCAPES, LLC



PROJECT NUMBER:	
PROJECT MANAGER:	
DRAWN BY:	A. LONDON
CHECKED BY:	A. LONDON
ISSUE DATE:	4/17/26


REV.	DATE	DESCRIP.	BY

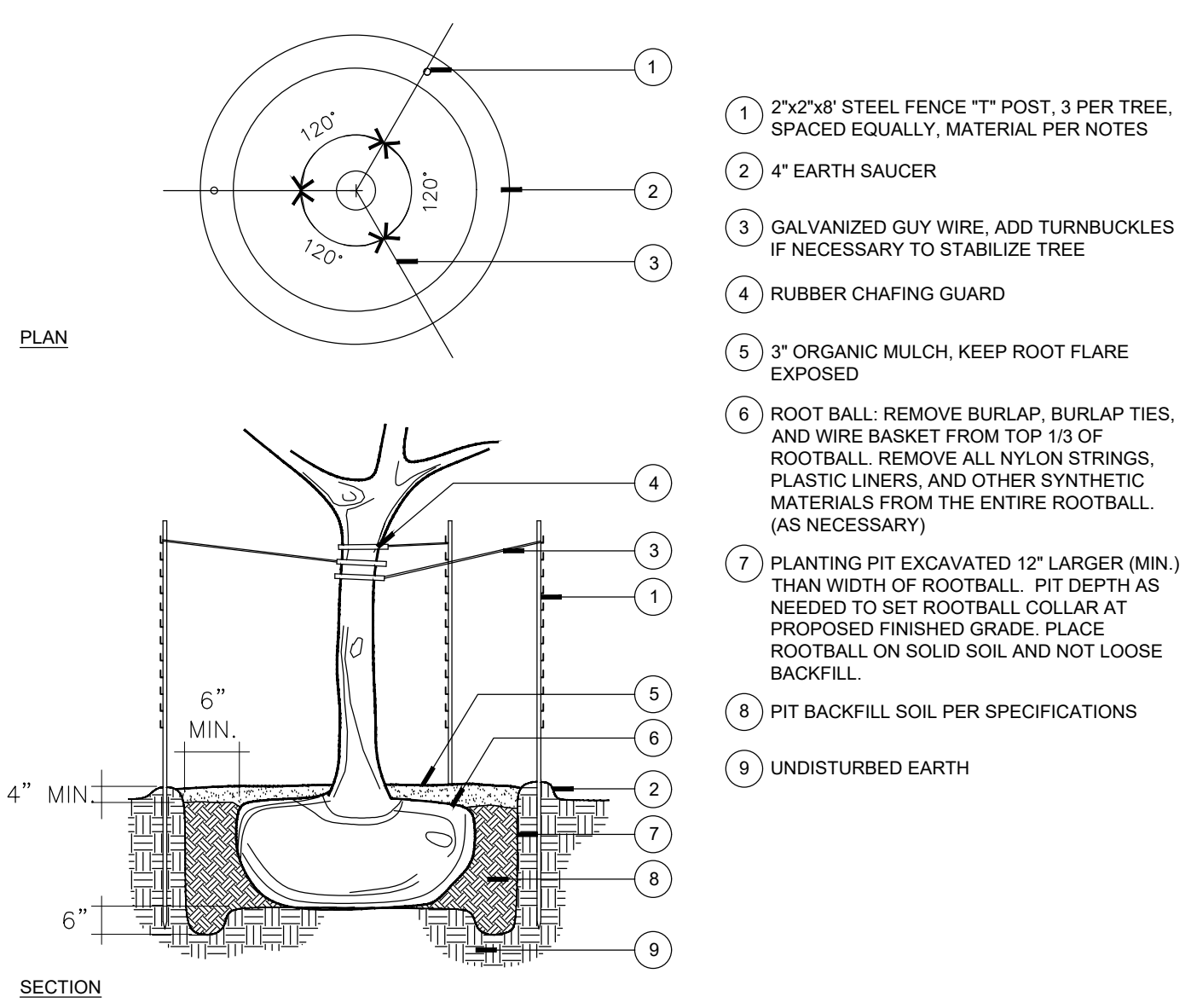
SHEET CONTENT:  
**LANDSCAPE DETAILS**

SHEET NO:  
 L1.01  
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**LANDSCAPE NOTES**

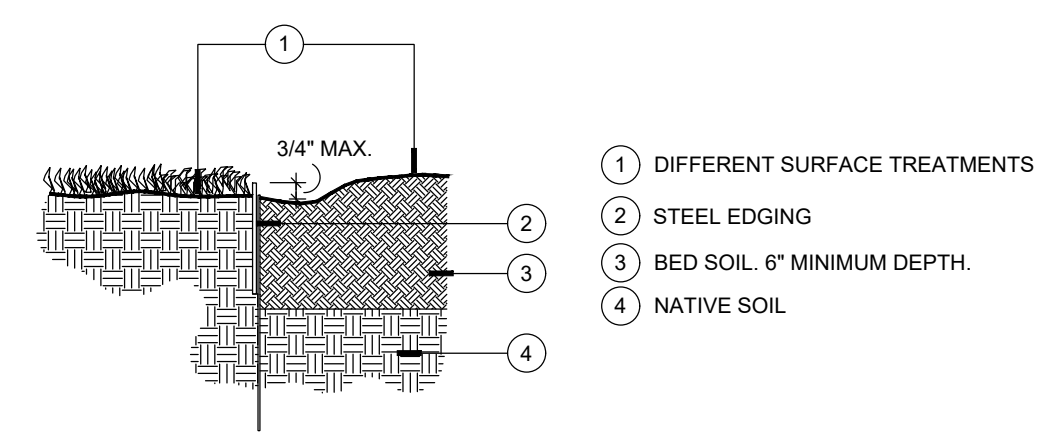
- Plant material shall comply with all sizing and grading standards of the latest edition of "American Standard for Nursery Stock."
- Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
- It is the responsibility of the contractor to advise the owner's representative of any condition found on site which prohibits installation as shown on these plans.
- In the event of a discrepancy between drawings and plant schedule, the drawings shall prevail.
- Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
- No substitutions shall be made without written authorization from the project Landscape Architect or the Owner.
- Commercial Soil Mix: All planting beds shall be excavated to twelve (12") inches below finished grade by Landscape Contractor, and all debris, stone, rubbish, weeds, and topsoil shall be removed from the site. The subgrade shall then be tilled to a depth of twelve (12") inches and the planting bed shall be backfilled with soil compost mix as available from Living Earth Resources, Inc., Dallas, Texas, or approved equal. Upon replacement of topsoil with mix and after watering in, the bed should be at the specified level.
- Existing soil shall be reasonably free of stones, lumps of clay, roots and other foreign matter. Acidity to be between 5.0 and 7.0 pH.
- If rocks are encountered, remove to a depth of 4" and add 4" of friable fertile topsoil to all sodded areas. Grade according to Engineer's grading plan.
- Lawn areas shall have 4" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
- All plant beds shall be top dressed with a minimum 4" of shredded hardwood mulch.
- Provide beveled edge between all plant beds and lawn areas unless indicated differently on plans.
- Tree planting pits shall be backfilled with top soil, and cleared of all rocks, lumps of clay and other foreign material. Place 1" of compost and 4" of mulch on top of root ball.
- Methods of tree staking indicated on the drawings are for suggestion only. The landscape contractor shall use whatever method he/she deems fit, however, he/she will be held liable for any damage caused to trees due to improper staking methods (including absence of staking), and will be responsible for adjusting and/ or replanting trees which are not held upright during the warranty period.
- Trees shall be planted at least 3 feet from any utility line, curb, walk or fire hydrant, and outside all utility easements.
- Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
- Trees overhanging public street pavement, drive aisles and fire lanes shall have a minimum clear trunk height of 14 feet from finish surface of street pavement.
- Trees planted on slopes shall be placed in planting pits of adequate depth such that the soil stain at the base of the trunk matches that of the average grade or slope.
- A visibility triangle must be provided at all intersections. All landscaping within visibility triangles and parking lot islands, must be maintained so that lower tree limbs are a minimum of 7' from the ground and that shrubs and ground cover are a maximum of 24" high.
- No shrubs shall be permitted within areas less than three (3) feet in width. All such areas shall be grass or other permanent fixed material such as paving.
- During the warranty period The contractor shall be jointly responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. The work shall include - but not be limited to - mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, removed, or showing more than 40% defoliation, shall be replaced with plant material of similar size and variety within thirty (30) days.
- Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
- Landscape areas shall be kept free of trash, litter and weeds.
- All signage and fencing shall be contingent upon building inspection department approval.
- An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets and walks is prohibited. A permit from the building inspection department is required for each irrigation system. Drip indicators shall be installed on all drip irrigation zones.

FOR PRIVATE PROPERTY USE ONLY- THESE DETAILS SHALL NOT BE USED IN THE R.O.W. OR EASEMENT AREAS.



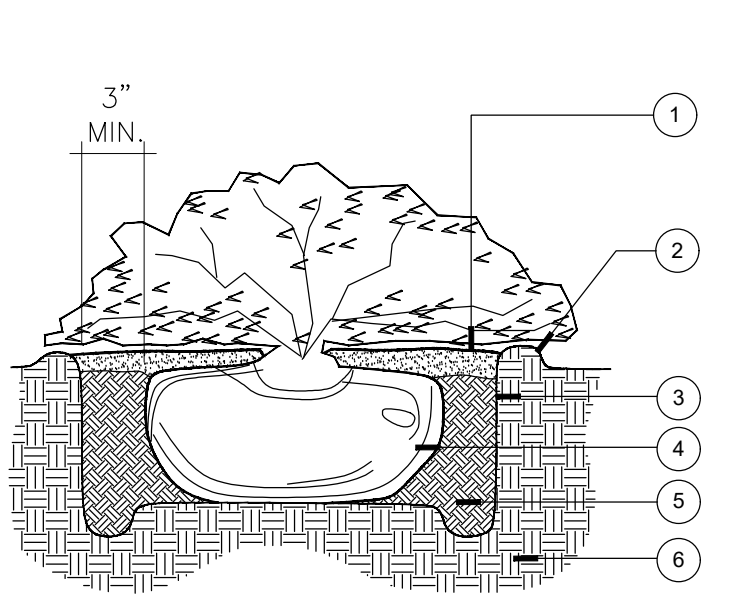
**A TREE PLANTING**  
 N.T.S.

- 2"x2"x8" STEEL FENCE 1" POST, 3 PER TREE, SPACED EQUALLY, MATERIAL PER NOTES
- 4" EARTH SAUCER
- GALVANIZED GUY WIRE, ADD TURNBUCKLES IF NECESSARY TO STABILIZE TREE
- RUBBER CHAFING GUARD
- 3" ORGANIC MULCH, KEEP ROOT FLARE EXPOSED
- ROOT BALL: REMOVE BURLAP, BURLAP TIES, AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS, AND OTHER SYNTHETIC MATERIALS FROM THE ENTIRE ROOTBALL. (AS NECESSARY)
- PLANTING PIT EXCAVATED 12" LARGER (MIN.) THAN WIDTH OF ROOTBALL. PIT DEPTH AS NEEDED TO SET ROOTBALL COLLAR AT PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
- PIT BACKFILL SOIL PER SPECIFICATIONS
- UNDISTURBED EARTH



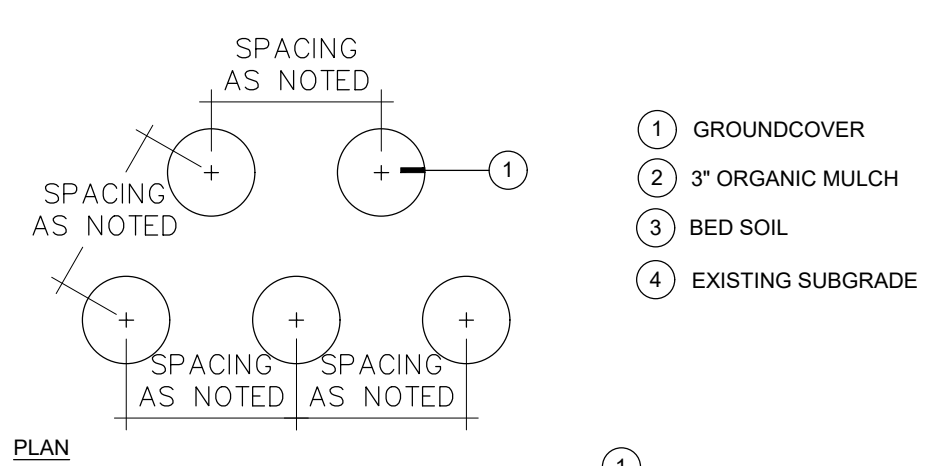
**D STEEL EDGING**  
 N.T.S.

- DIFFERENT SURFACE TREATMENTS
- STEEL EDGING
- BED SOIL, 6" MINIMUM DEPTH.
- NATIVE SOIL



**B SHRUB PLANTING**  
 N.T.S.

- 3" ORGANIC MULCH LAYER
- 3" HIGH EARTH SAUCER
- PLANTING PIT: EXCAVATE 6" LARGER (MIN.) THAN WIDTH OF ROOTBALL. W/ PIT DEPTH AS NEEDED TO SET ROOTBALL @ PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL. SCARIFY SIDES OF PIT, PROVIDE CONTINUOUS PIT FOR MASS BED PLANTINGS.
- ROOT BALL: REMOVE FROM CONTAINER. GENTLY SCARIFY GIRDLED ROOTS AS NEEDED. REMOVE ALL TAGS & TWINE.
- PIT BACKFILL W/ PREPARED SOIL BED MIX PER SPECIFICATIONS. PROVIDE CONTINUOUS SOIL BED MIX IN MASS PLANTINGS.
- UNDISTURBED EARTH



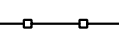


**C GROUNDCOVER PLANTING**  
 N.T.S.

- GROUNDCOVER
- 3" ORGANIC MULCH
- BED SOIL
- EXISTING SUBGRADE

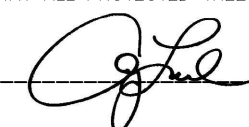


**LEGEND**

-  TREES TO BE REMOVED (NONE)
-  TREES TO BE PRESERVED (ALL)
-  TREE PROTECTION FENCING

**LANDSCAPE ARCHITECT/ARBORIST STATEMENT**

"I, AMY LONDON, BEING A LANDSCAPE ARCHITECT OR ARBORIST ATTEST THAT THE IDENTIFICATION AND SIZE OF TREES IDENTIFIED ON THIS SURVEY ARE CORRECT AND THAT ALL PROTECTED TREES HAVE BEEN SHOWN."

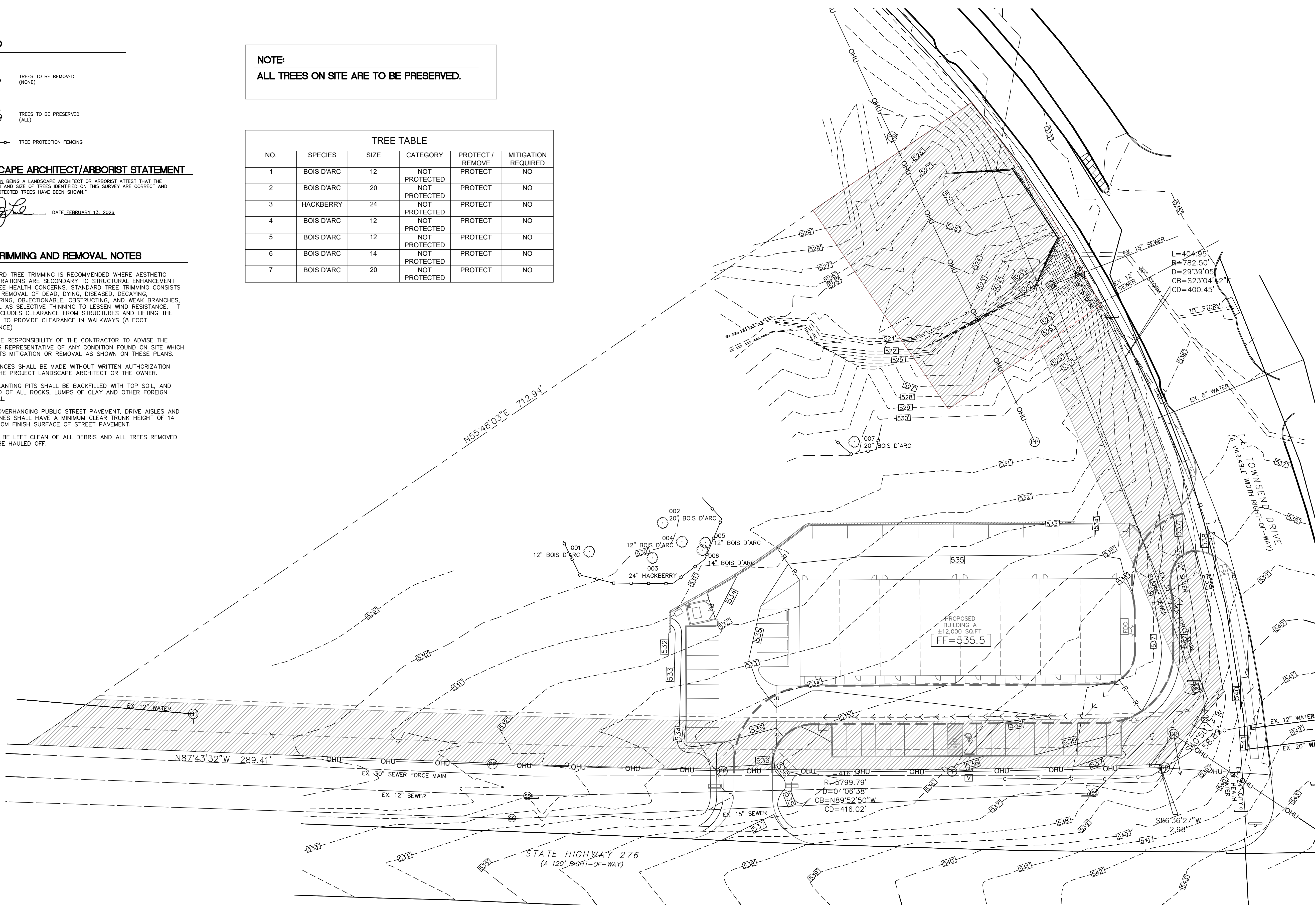
 DATE: FEBRUARY 13, 2026

**TREE TRIMMING AND REMOVAL NOTES**

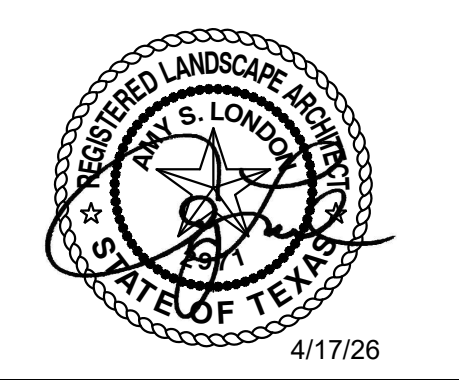
1. STANDARD TREE TRIMMING IS RECOMMENDED WHERE AESTHETIC CONSIDERATIONS ARE SECONDARY TO STRUCTURAL ENHANCEMENT AND TREE HEALTH CONCERNS. STANDARD TREE TRIMMING CONSISTS OF THE REMOVAL OF DEAD, DYING, DISEASED, DECAYING, INTERFERING, OBJECTIONABLE, OBSTRUCTING, AND WEAK BRANCHES, AS WELL AS SELECTIVE THINNING TO LESSEN WIND RESISTANCE. IT ALSO INCLUDES CLEARANCE FROM STRUCTURES AND LIFTING THE CANOPY TO PROVIDE CLEARANCE IN WALKWAYS (8 FOOT CLEARANCE)
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS MITIGATION OR REMOVAL AS SHOWN ON THESE PLANS.
3. NO CHANGES SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE PROJECT LANDSCAPE ARCHITECT OR THE OWNER.
4. TREE PLANTING PITS SHALL BE BACKFILLED WITH TOP SOIL, AND CLEARED OF ALL ROCKS, LUMPS OF CLAY AND OTHER FOREIGN MATERIAL.
5. TREES OVERHANGING PUBLIC STREET PAVEMENT, DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET FROM FINISH SURFACE OF STREET PAVEMENT.
6. SITE TO BE LEFT CLEAN OF ALL DEBRIS AND ALL TREES REMOVED SHALL BE HAULED OFF.

**NOTE:**  
ALL TREES ON SITE ARE TO BE PRESERVED.

TREE TABLE					
NO.	SPECIES	SIZE	CATEGORY	PROTECT / REMOVE	MITIGATION REQUIRED
1	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
2	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO
3	HACKBERRY	24	NOT PROTECTED	PROTECT	NO
4	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
5	BOIS D'ARC	12	NOT PROTECTED	PROTECT	NO
6	BOIS D'ARC	14	NOT PROTECTED	PROTECT	NO
7	BOIS D'ARC	20	NOT PROTECTED	PROTECT	NO



OLD SH 276  
COMMERCIAL OFFICES  
Rockwall, Texas



PROJECT NUMBER:  
PROJECT MANAGER:  
DRAWN BY: A. LONDON  
CHECKED BY: A. LONDON  
ISSUE DATE: 4/17/26

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:

**TREESCAPE PLAN**

SHEET NO: TR1.00

## EXTERIOR LIGHTING FIXTURE SCHEDULE

FIXTURE	FIXTURE DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMP TYPE & COLOR TEMP	FIXTURE VOLTS	FIXTURE WATTS	FIXTURE QUANTITY	FIXTURE NOTES:
S1	NEW DECORATIVE SCONCE	LITHONIA WMCL6-P1-SWW2-A45-MVOLT-PE-E4WC-DDBXD-M4	LED 4000K	120V	31 W	16	PROVIDE TIMER IN FIRE RISER ROOM.
W1	NEW WALL PACK	LITHONIA TWH-LED-40K-T3M-MVOLT-PE BRONZE, PHOTOCELL	LED 4000K	120V	78 W	9	PROVIDE PHOTOCELL FIXED TO FIXTURE

### GENERAL NOTES

- PHOTOMETRIC PLANS.

REV	DATE	ISSUE
A	02/13/26	ISSUED FOR REVIEW
B	03/13/26	REVISED FOR REVIEW
C	03/13/26	REVISED FOR REVIEW
D	04/16/26	ISSUED FOR PERMIT

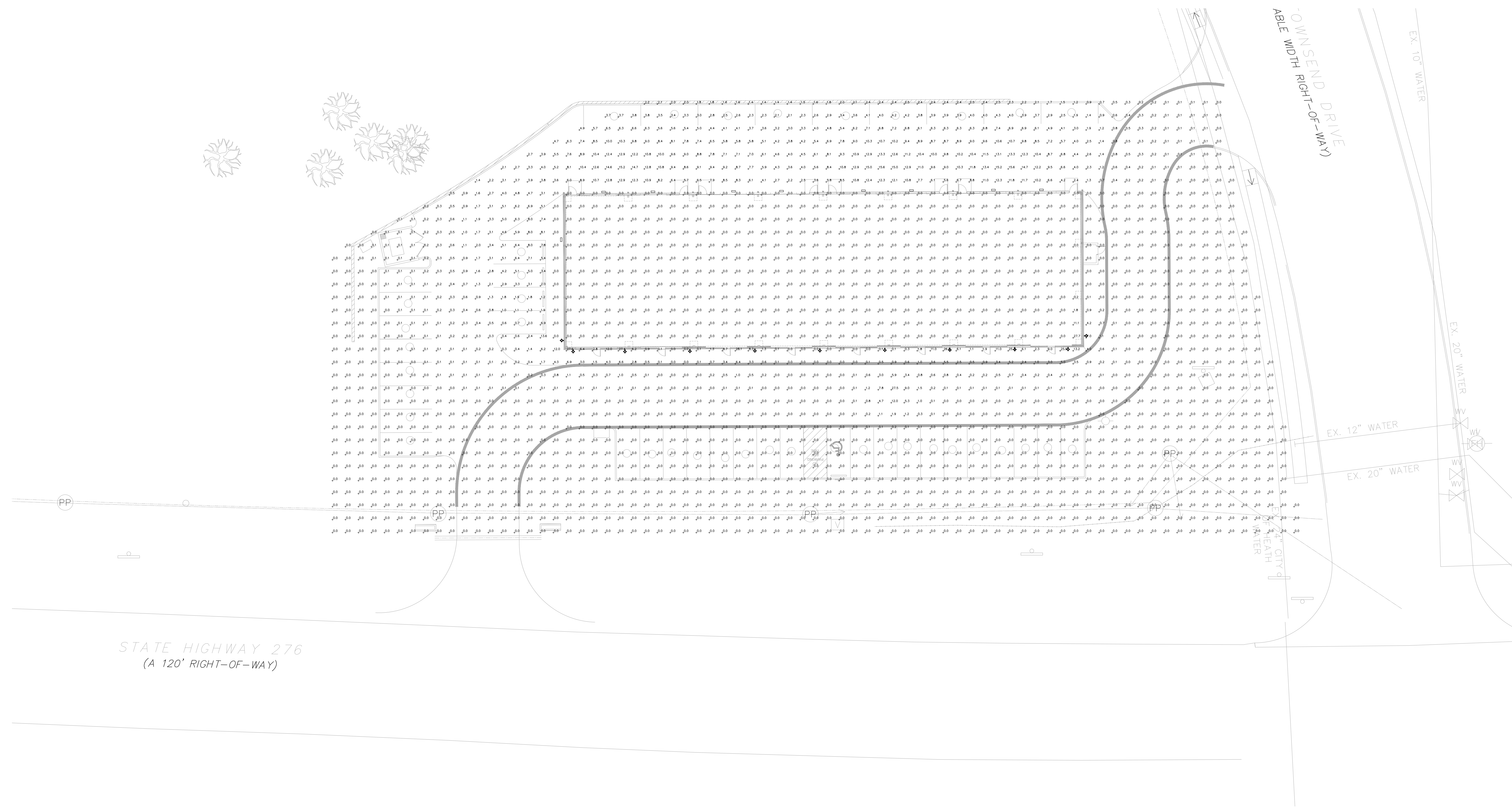
ISSUED FOR PERMIT  
AND CONSTRUCTION  
04/16/2026

HEC GROUP  
15749 SEAROLT PL.  
ADDISON, TX 75001



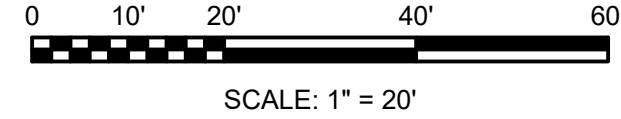
OFFICE BUILDING  
ELECTRICAL PHOTOMETRICS  
HIGHWAY 276 & TOWNSEND  
ROCKWALL, TX 75082

Project	26104
Revision	D
Date	04/16/2026
Scale	N.T.S.
E0.4	
OF	SHEETS



1 ELECTRICAL PHOTOMETRICS PLAN

SCALE: 1" = 20'



SCALE: 1" = 20'